

TAZEWELL COUNTY ZONING BOARD OF APPEALS
TO CONVENE TUESDAY, OCTOBER 7, 2025 AT 5:30 P.M.
TAZEWELL COUNTY JUSTICE CENTER
CHAIRMAN, DUANE LESSEN

1. Roll Call.
2. Explanation of public hearing procedures.
3. Public Comment – ***on matters not listed below.***
4. Action concerning minutes of the meeting held September 3, 2025
5. Cases to be considered:

Case No. 25-44-S	Lowery Excavating, Inc.	Special Use	Hopedale Twp.
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Case No. 25-45-S	Lowery Excavating, Inc.	Special Use	Hopedale Twp.
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Case No. 25-46-V	DJMH Living Trust	Variance	Tremont Twp.
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Withdrawn at the request of the Petitioner

Case No. 25-47-V	Oak Ridge Outdoor	Variance	Hopedale Twp.
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Case No. 25-48-V	Oak Ridge Outdoor	Variance	Mackinaw Twp.
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6. Deliberations.
7. Other Business:
8. Next Meeting: Tuesday, November 4, 2025 at 5:30 p.m.
9. Adjournment.

Members: Chairman Duane Lessen, Vice Chairman Todd Bong, Shawn Cupi, Valerie Fehr, Angela Lapsley, Amy McClanahan and Donald Vaughn

Alternates: 1st - Samuel Miller, 2nd – Glen Gullette

CASE INFORMATION

CASE NO.: 25-44-S PETITIONER: Lowery Excavating, Inc.

AGENT OR REPRESENTATIVE: Steve Lowery

ADDRESS: 404 Harbor Pointe Dr., East Peoria, IL 61611 PHONE: 309-256-7128

REQUEST FOR: Expansion to an existing Special Use (Case 07-13-S, approved 4/3/07; and an expansion Case 11-32-S, approved 12/6/2011) to expand the operations of mining sand and gravel in an A-1 Agriculture Preservation Zoning District

P.I.N.# Pt. 18-18-04-200-008 PARCEL SIZE 8+/- PRESENT ZONING: A-1

SURROUNDING ZONING: N A-1 S A-1 E A-1 W A-1

PETITION RECEIVED: 9/5/25 CASE ORIGIN: By Petitioner

AGENCIES NOTIFIED AND COMMENTS MADE:

PLANNER: Notified 9/18/25

HEALTH DEPT.: Notified 9/18/25

TCSWCD: Notified 9/18/25

TCFB: Notified 9/18/25

COUNTY HIGHWAY: Notified 9/18/25

COUNTY EMA: Notified 9/18/25

MUNICIPALITY: N/A

TOWNSHIP: Notified 9/22/25

IDOT: N/A

SURROUNDING PROPERTY OWNERS: Notified 9/18/25

PUBLICATION DATE: 9/17/25 WHERE: Tazewell Chronicle

ACTION TAKEN:

ZONING BOARD OF APPEALS: _____ DECISION: _____

LAND USE COMMITTEE: _____ DECISION: _____

COUNTY BOARD: _____ DECISION: _____

OTHER COMMENTS: _____

TAZEWELL COUNTY COMMUNITY
DEVELOPMENT

APPLICATION FOR ZONING HEARING

PETITION FOR:

☐ Special Use (New Dwelling Site)

☒ Special Use (Other)

Staff Use Only:

Accepted by: NK

Date Filed: 9/5/25 CASE NO. 25-44-S

Filing Fee: 450.00 Publication Fee: _____

ZBA Hearing Date: 10/7/2025

Decision Date: _____

☐ APPROVED ☐ DENIED ☐ OTHER _____

1. Applicant and Owner Information:

Applicant:

Owner:

Name: Steve Lowery

Name: Kenneth Bright

Address: 404 Harbor Pointe Dr.

Address: P.O. Box 886

City, State: East Peoria IL 61611

City, State: Tremont, IL 61568

Phone: 309 256 7128
(daytime contact)

Phone: _____
(daytime contact)

Email: Lowx@frontier.com

Email: _____

The property interest of the applicant, if not the owner: _____

2. Site and Surrounding Property Information:

a. 911 Address or property location of subject property: 26251 Townline Rd Tremont 61568

b. Correct Legal Description and Property Identification Number: (Attach an additional sheet if necessary - a copy of the legal description may be obtained from the Recorder of Deeds Office - 1st floor, McKenzie Building)

Current Zoning: Agriculture Property ID Number: 18-18-04-200-008

Proposed Parcel Size/Acreage: 8 ac. Soil Productivity Rate of Site: 243C2, 125

Legal Description: 243B St. Charles

Part of the SE 1/2 of the NE 1/4 of Sec 4 T23N R3W of the 3rd PM

c. Describe all existing structures, physical attributes and current land use of the property:

No structures, agricultural fields

d. Previous Special Use/Variance requests for this property? ☒ No ☐ Yes-Case No. _____

3. State the Reason For and Nature of the Special Use:

Gravel reserves for the ~~ex~~ existing gravel pit operated by Lowery Excavating are nearly exhausted. More gravel property is need to continue production of aggregate materials for the area

a. Hours of operation: 6:30-6:30 M-F Number of employees: 6

b. Number of parking spaces: 10 Handicapped: Yes Parking Lot Surface: gravel

c. Signs (size and number of): None

d. Number of new buildings to be constructed and proposed use of each building:

None

e. Future expansion and time schedule: None at this time

4. **New Dwelling Sites Only:** A livestock feeding operation is defined by the Tazewell County Zoning Code as: Any new or existing operation which stables or confines and feeds or maintains for a total of 45 days or more in any 12-month period a combination of at least fifty (50) animal units, or its equivalency. *(Contact the Tazewell County Farm Bureau Office at (309) 347-3165 for assistance if you are uncertain regarding location of active livestock feeding operations.)

- a. Is the property located: (Check appropriate item)
1. Less than one-half ($\frac{1}{2}$) mile of a livestock feeding operation: ☐ Yes ☐ No
- *If less than $\frac{1}{2}$ mile is a Variance necessary? ☐ Yes ☐ No
2. More than one-half ($\frac{1}{2}$) mile of a livestock feeding operation: ☐ Yes ☐ No
- b. Type of livestock operation _____ Number of animal units: _____

5. The Zoning Board of Appeals makes a Finding of Fact for all Special Use. Please provide how your application conforms to the following: (attached an additional sheet if necessary)

- a. The site will be so situated as to minimize adverse effects, including visual impacts on adjacent properties.
Berms will be constructed and maintained to minimize noise and visual impact. Frequent watering for dust control will continue
- b. The establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare of the neighboring vicinity.
Current operations are kept clean and well maintained. There are no hazards to the public
- c. The Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.
All equipment is contained down in the pit. Berms and dust control minimize any effects of machinery, noise and dust.
- d. The Special Use will not substantially diminish and impair property value within the neighborhood.
This property is surrounded by old gravel pits and corn fields. The existing pit has been in operation for 17 years. No effect on values
- e. Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.
Adequate utilities are provided at an existing office/shop. Proper truck entrance to Townline Rd. All drainage contained within pit
- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion and hazard on the public streets.
Existing truck entrance on Townline Rd will be the only access to the site
- g. Granting the special use, **which is located one-half mile or less** from a livestock feeding operation, will not increase the population density around the livestock feeding operation to such levels that would hinder the operation or expansion of such operation or granting the special use, which is located **more than one half mile** from a livestock feeding operation will not hinder the operation or expansion of such operation.
No livestock within $\frac{1}{2}$ mile
- h. The Special Use is consistent with the existing uses of property within the general area of the property in question.
Gravel mining operations have been on going in this area for over 70 years.

- i. The property is suitable for the Special Use as proposed.

This area has been used for gravel mining for many years with minimal effects to surrounding property owners and roads.

6. **Signature:** I (we) certify that the proposed Special Use will conform to the standards for Special Uses in the Tazewell County Zoning Ordinance and hereby acknowledges that all the information contained in this application and accompanying documents are true and correct to the best of my (our) knowledge.

ME Zing
Applicant Signature

9/4/25
Date

ME Zing
Owner Signature

9/4/25
Date

Reclamation plan for Tremont Pit

As mining operations are completed property shall be reclaimed to provide as much tillable ground as possible as follows:

1. Top soil shall be excavated and used to construct screening berms around the perimeter of the site or saved in stockpiles for later use.
2. Clay overburden shall be removed or stockpiled at suitable areas. Enough clay dirt will be retained for adequate reclamation.
3. As operations progress clay overburden will be excavated and used to build up pit sidewalls which will be sloped at 3:1, seeded with grass and mowed.
4. Pit floor shall be cut, filled and graded as necessary to provide adequate drainage prior to placement of clay soil.
5. A minimum of two feet of clean clay soil shall be placed on pit floor and covered with a minimum of one foot of top soil to support row crops.
6. All stockpiles of sand, gravel and soil shall be used in the reclamation process or removed.

OWNER'S CONSENT FORM

I, Kenneth Bright (print property owner's name) understand
that Steve Lowery (print applicant's name), is petitioning for:
Special Use permit to expand gravel mining operations

located at (give address) 10770 Levy Rd
City Tremont State Illinois Zip 61568
Parcel I.D. # 18-18-04-200-008 with the Tazewell County Community Development
Department.

I hereby attest that I understand the request and consent to the filing of the petition by the applicant as listed
above.

Kenneth Bright
Owner's Signature

9-8-25
Date

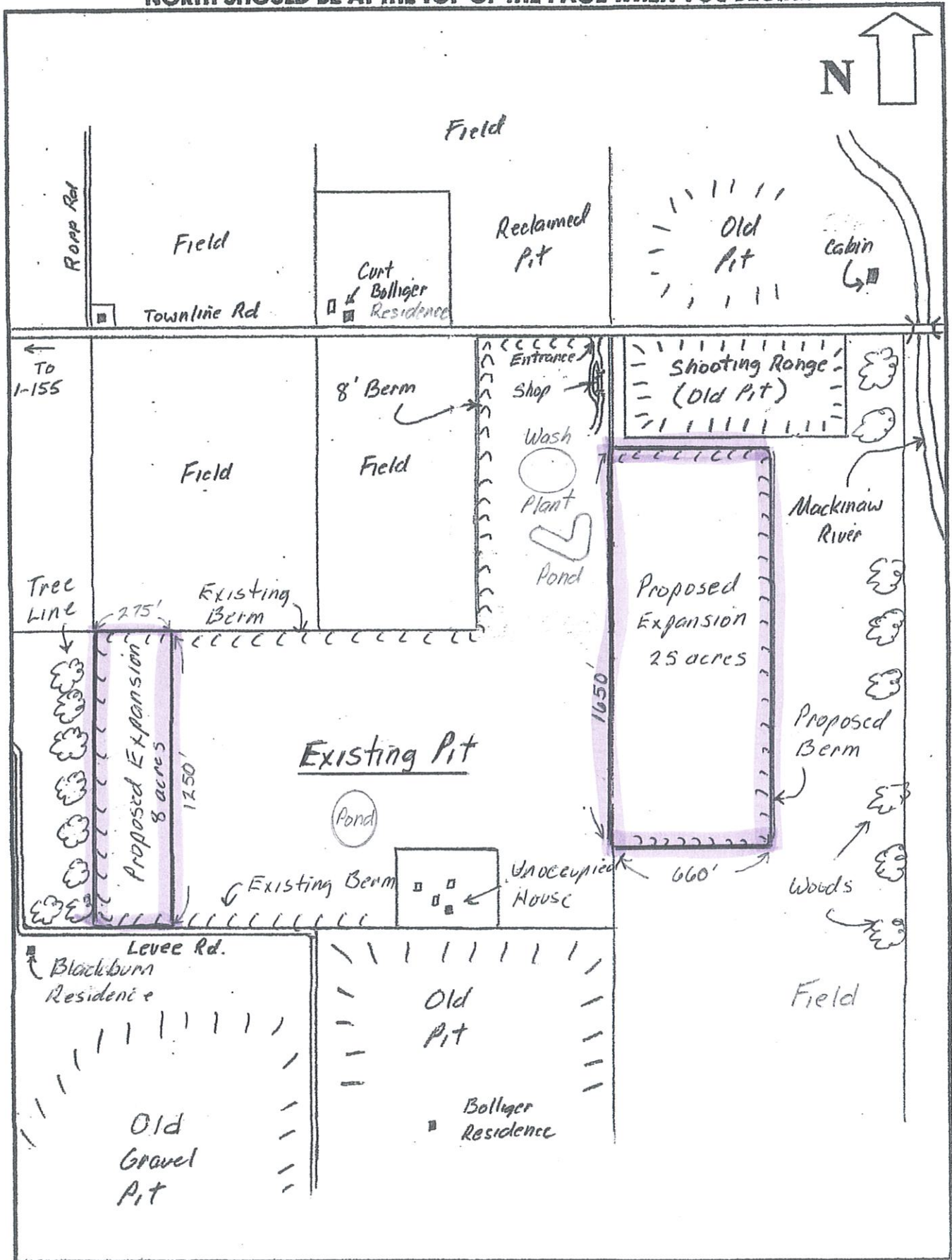
Subscribed and sworn to before me this 8th day of Sept., 20 25.

[Signature]
Notary Public



NOTE: FOR PROPER UNDERSTANDING OF YOUR APPLICATION, SHOW PLACEMENT OF BUILDINGS, BUILDING SIZE, DISTANCE FROM OVERHANG OF BUILDINGS TO FRONT, REAR AND SIDE LOT LINES, LOCATION OF PARKING SPACES, LANDSCAPING, AND OTHER PERTINENT DETAILS.

NORTH SHOULD BE AT THE TOP OF THE PAGE WHEN YOU BEGIN!!



SITE PLAN

EXHIBIT

A

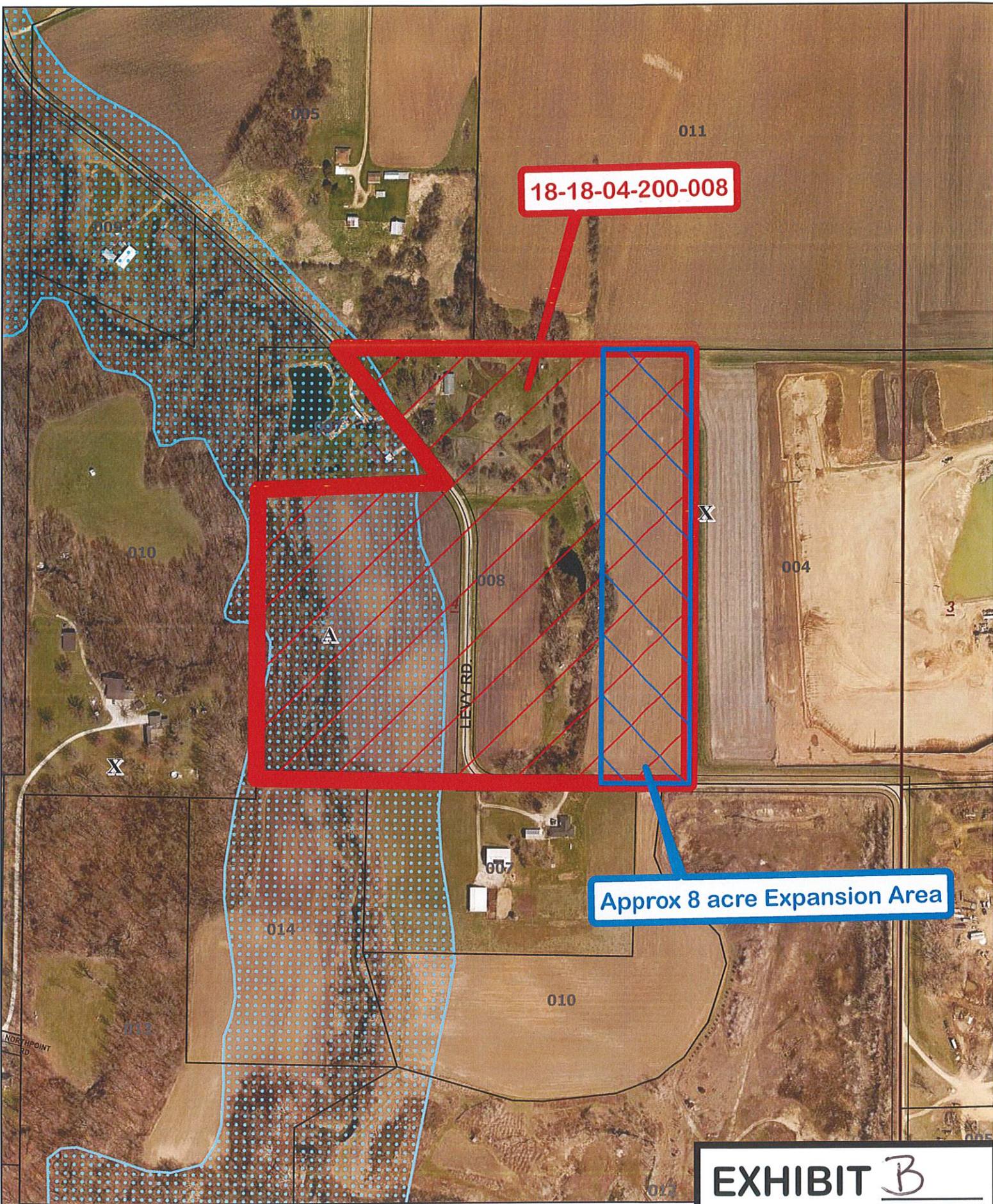


EXHIBIT B



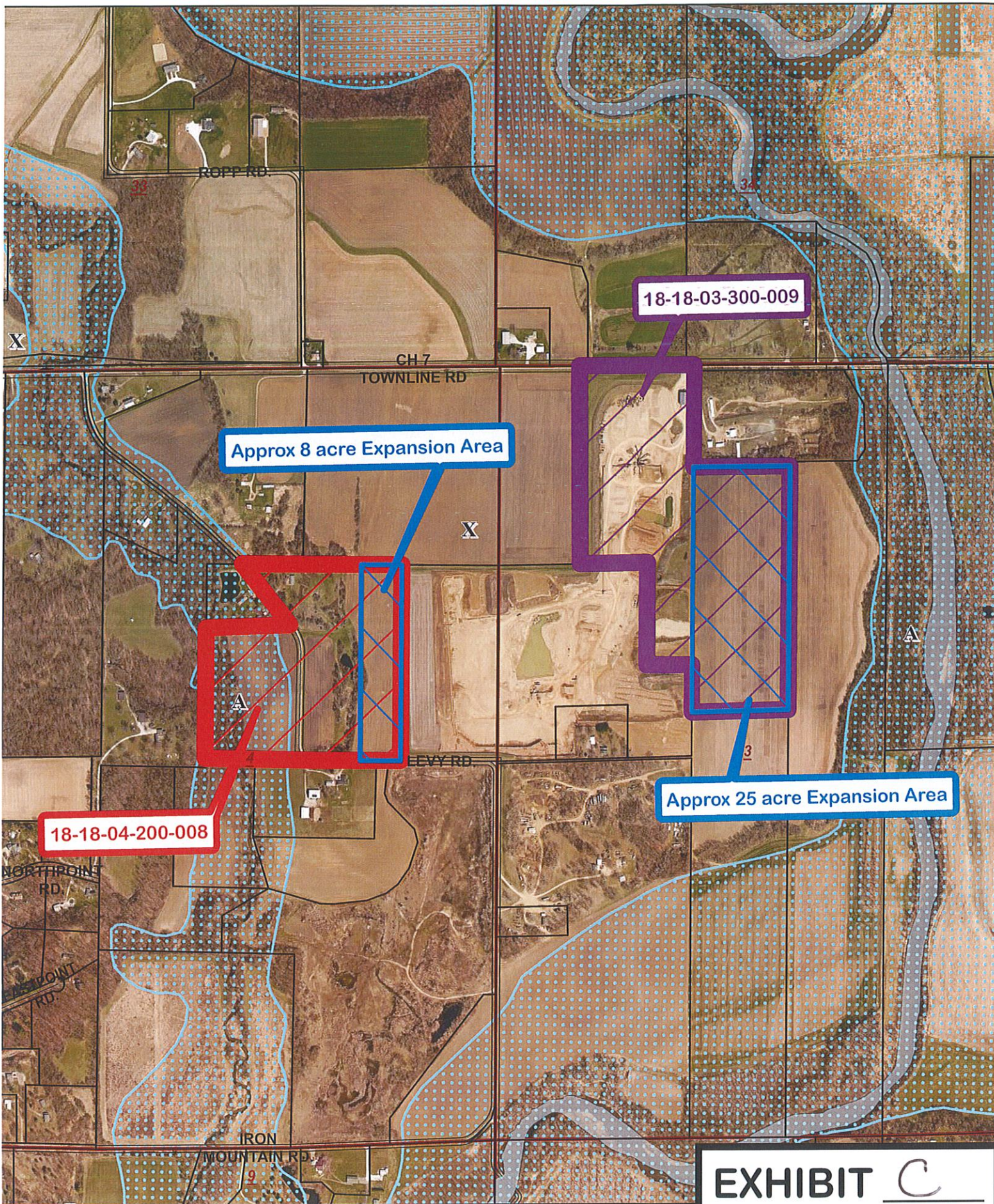


EXHIBIT C



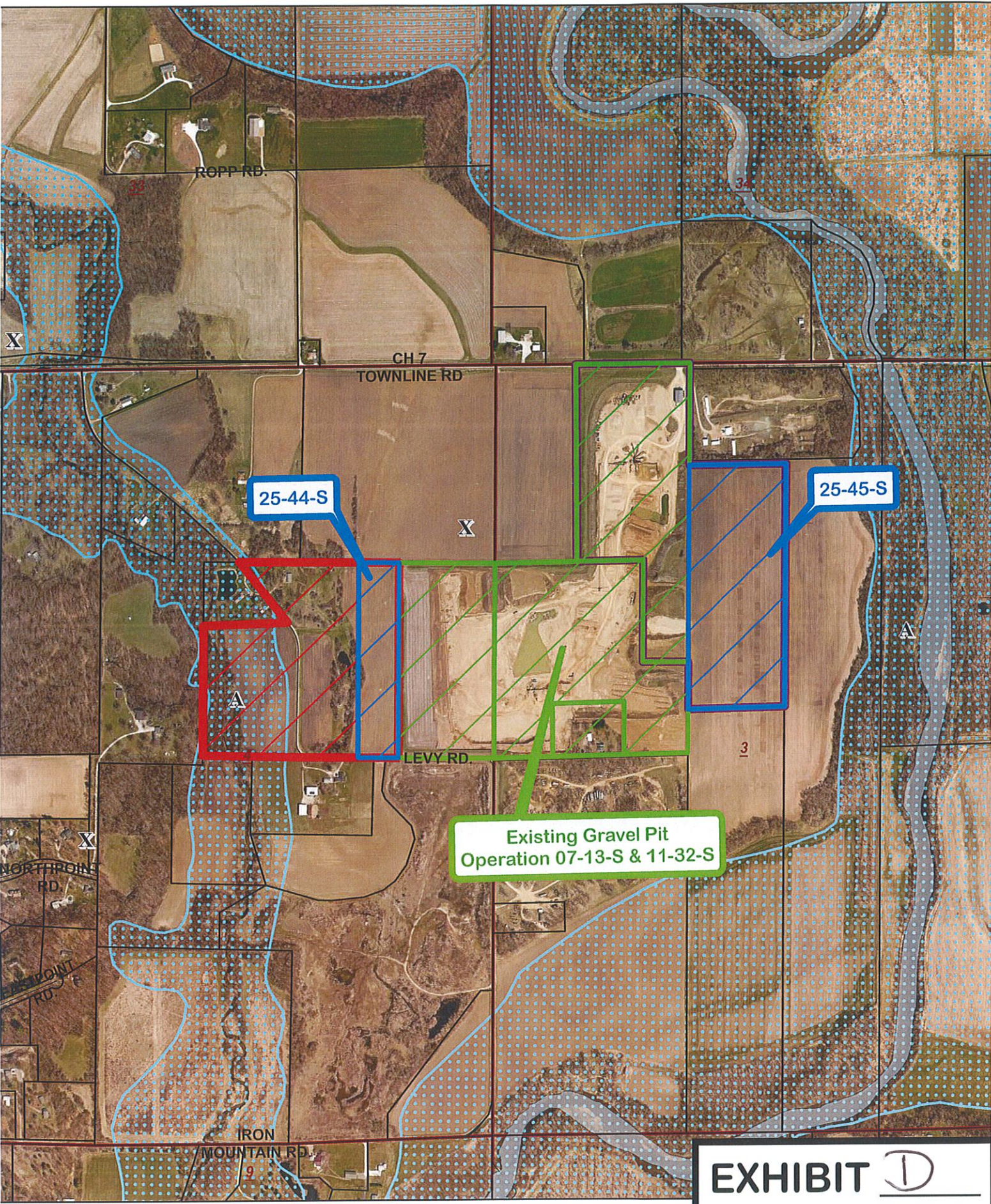
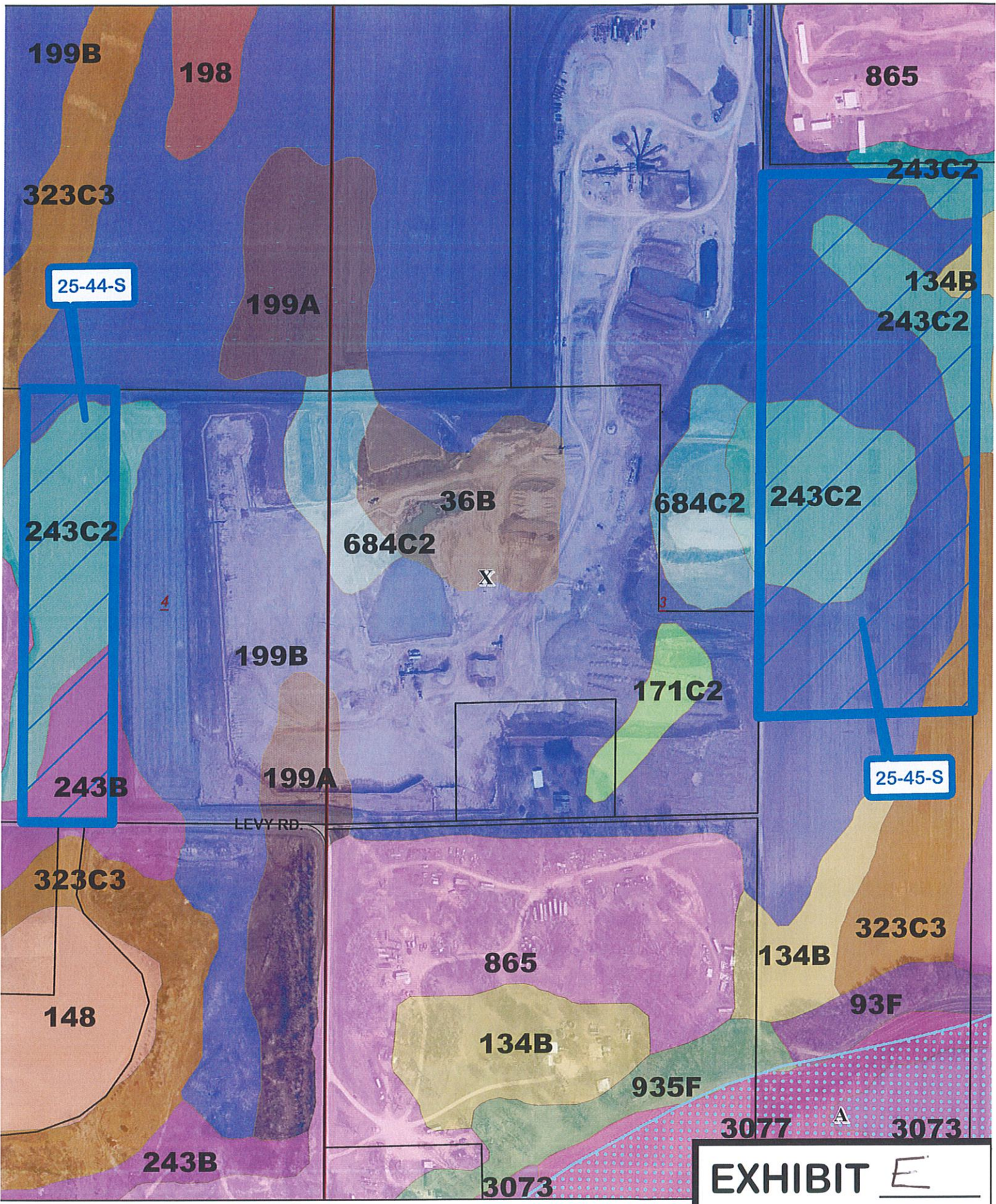


EXHIBIT D





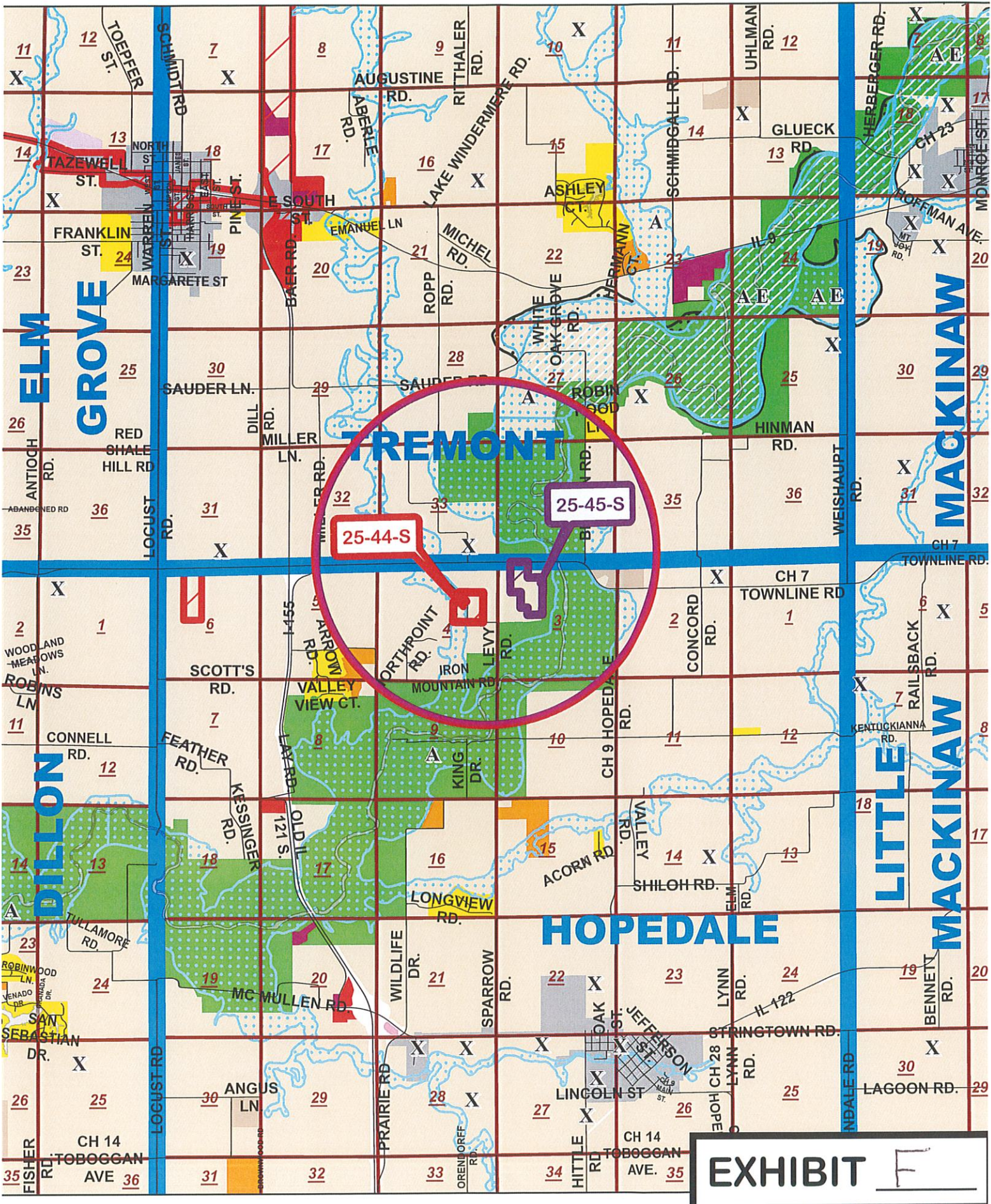


EXHIBIT F

Zoning

District

AG Area

- | | | | | | | |
|------|-------|------|-------|------|------|-------|
| A-1 | A-2 | C-1 | C-2 | I-1 | R-1 | R-2 |
| A-3 | A-4 | C-3 | C-4 | I-2 | R-3 | R-4 |
| A-5 | A-6 | C-5 | C-6 | I-3 | R-5 | R-6 |
| A-7 | A-8 | C-7 | C-8 | I-4 | R-7 | R-8 |
| A-9 | A-10 | C-9 | C-10 | I-5 | R-9 | R-10 |
| A-11 | A-12 | C-11 | C-12 | I-6 | R-11 | R-12 |
| A-13 | A-14 | C-13 | C-14 | I-7 | R-13 | R-14 |
| A-15 | A-16 | C-15 | C-16 | I-8 | R-15 | R-16 |
| A-17 | A-18 | C-17 | C-18 | I-9 | R-17 | R-18 |
| A-19 | A-20 | C-19 | C-20 | I-10 | R-19 | R-20 |
| A-21 | A-22 | C-21 | C-22 | I-11 | R-21 | R-22 |
| A-23 | A-24 | C-23 | C-24 | I-12 | R-23 | R-24 |
| A-25 | A-26 | C-25 | C-26 | I-13 | R-25 | R-26 |
| A-27 | A-28 | C-27 | C-28 | I-14 | R-27 | R-28 |
| A-29 | A-30 | C-29 | C-30 | I-15 | R-29 | R-30 |
| A-31 | A-32 | C-31 | C-32 | I-16 | R-31 | R-32 |
| A-33 | A-34 | C-33 | C-34 | I-17 | R-33 | R-34 |
| A-35 | A-36 | C-35 | C-36 | I-18 | R-35 | R-36 |
| A-37 | A-38 | C-37 | C-38 | I-19 | R-37 | R-38 |
| A-39 | A-40 | C-39 | C-40 | I-20 | R-39 | R-40 |
| A-41 | A-42 | C-41 | C-42 | I-21 | R-41 | R-42 |
| A-43 | A-44 | C-43 | C-44 | I-22 | R-43 | R-44 |
| A-45 | A-46 | C-45 | C-46 | I-23 | R-45 | R-46 |
| A-47 | A-48 | C-47 | C-48 | I-24 | R-47 | R-48 |
| A-49 | A-50 | C-49 | C-50 | I-25 | R-49 | R-50 |
| A-51 | A-52 | C-51 | C-52 | I-26 | R-51 | R-52 |
| A-53 | A-54 | C-53 | C-54 | I-27 | R-53 | R-54 |
| A-55 | A-56 | C-55 | C-56 | I-28 | R-55 | R-56 |
| A-57 | A-58 | C-57 | C-58 | I-29 | R-57 | R-58 |
| A-59 | A-60 | C-59 | C-60 | I-30 | R-59 | R-60 |
| A-61 | A-62 | C-61 | C-62 | I-31 | R-61 | R-62 |
| A-63 | A-64 | C-63 | C-64 | I-32 | R-63 | R-64 |
| A-65 | A-66 | C-65 | C-66 | I-33 | R-65 | R-66 |
| A-67 | A-68 | C-67 | C-68 | I-34 | R-67 | R-68 |
| A-69 | A-70 | C-69 | C-70 | I-35 | R-69 | R-70 |
| A-71 | A-72 | C-71 | C-72 | I-36 | R-71 | R-72 |
| A-73 | A-74 | C-73 | C-74 | I-37 | R-73 | R-74 |
| A-75 | A-76 | C-75 | C-76 | I-38 | R-75 | R-76 |
| A-77 | A-78 | C-77 | C-78 | I-39 | R-77 | R-78 |
| A-79 | A-80 | C-79 | C-80 | I-40 | R-79 | R-80 |
| A-81 | A-82 | C-81 | C-82 | I-41 | R-81 | R-82 |
| A-83 | A-84 | C-83 | C-84 | I-42 | R-83 | R-84 |
| A-85 | A-86 | C-85 | C-86 | I-43 | R-85 | R-86 |
| A-87 | A-88 | C-87 | C-88 | I-44 | R-87 | R-88 |
| A-89 | A-90 | C-89 | C-90 | I-45 | R-89 | R-90 |
| A-91 | A-92 | C-91 | C-92 | I-46 | R-91 | R-92 |
| A-93 | A-94 | C-93 | C-94 | I-47 | R-93 | R-94 |
| A-95 | A-96 | C-95 | C-96 | I-48 | R-95 | R-96 |
| A-97 | A-98 | C-97 | C-98 | I-49 | R-97 | R-98 |
| A-99 | A-100 | C-99 | C-100 | I-50 | R-99 | R-100 |

TAZEWELL COUNTY
COMMUNITY DEVELOPMENT AND PLANNING
ZONING BOARD OF APPEALS REPORT (25-44-S)

Applicant: Steve Lowery

Requested Action: Special Use to allow the expansion of an existing sand and gravel pit in an A-1 Agriculture Preservation Zoning District.

Date of Application: September 5, 2025

Location: 26251 Townline Rd

Zoning:

Subject Property:	A-1 Agricultural Preservation District
North:	A-1 Agricultural Preservation District
East:	A-1 Agricultural Preservation District
South:	A-1 Agricultural Preservation District
West:	A-1 Agricultural Preservation District

Public Hearing: October 7, 2025

Considerations:

- Per the Tazewell County Zoning Code, the A-1 Zoning District is established to benefit and protect agricultural uses throughout the County.
- Per the Tazewell County Zoning Code, a gravel pit may be established in the A-1 Agricultural Preservation District with a Special Use.
- The area identified for special use is approximately 8 acres in size and is used for agricultural production currently.

Findings of Fact:

- The Special Use shall, in all other respects, conform to the applicable regulations of the Tazewell County Zoning Ordinance for the district in which it is located.
(POSITIVE) The Special Use will conform to all applicable regulations of the Tazewell County Zoning Code as enforced by the Community Development Administrator.
- The Special Use will be consistent with the purposes, goals, objectives, and standards of the officially adopted County Comprehensive Land Use Plan and these regulations or of any officially adopted Comprehensive Plan of a municipality within a 1.5-mile planning jurisdiction.

(POSITIVE) The subject property is not within 1.5 miles of a planning jurisdiction with an

officially adopted Comprehensive Plan.

The Tazewell County Comprehensive Plan states that, “one method of accommodating new development while protecting agricultural uses is preserving prime farmland for agricultural uses.” The future land use designation of the subject property is A-2. This designation’s purpose is to “protect and maintain agricultural uses, agricultural economy, the open space and natural features of rural areas, and preserve agricultural land of the county in order to: (1) Protect lands for continued farming; (2) Allow non-farm residential development on a limited basis; and (3) Minimize conflicts between agricultural and non-agricultural areas.” The subject property primarily consists of soils which are productive (productivity index of 125 or greater). Due to the subject property containing these productive soils and the current utilization of the property for agricultural purposes, the proposed special use request is not consistent with the following goals, objectives, and policies of the Tazewell County Comprehensive Plan:

- Appropriate areas for agricultural land are protected to allow for agricultural activities to continue.
- Agricultural activities are protected to allow for their establishment and continued operation.

The Tazewell County Comprehensive Plan also speaks about economic development for both new and existing businesses and industries. One of the primary goals on this topic states, “New and existing businesses and industries are willing and able to establish and maintain operations.” The Comprehensive Plan also estimated that the natural resources and mining occupation only had 18 employees within the county in 2014 and was expected to lose employment over the next decade. The existing gravel mine has received multiple approvals previously (2007 & 2011) and is one of the few instances remaining in Tazewell County of mining operations. With the existing operation being present for close to 20 years with no complaints from surrounding properties, the operation has shown its ability to minimize conflict between land uses.

After reviewing all applicable sections of the 2011 Tazewell County Comprehensive Plan, it is deemed that the proposed special use is consistent with the purposes, goals, and objectives as even though the request takes productive agricultural land out of production, the economic gain is seen as outweighing that loss.

- **The petitioner has provided the information required by 7TCC1-25(c), and has demonstrated the ability to complete the proposal shown in 7TCC1-25(c)(1)-(10), and has met those items required by the statements described in TCC1-25(c)(9).**

(POSITIVE) Per the application, the requirements of Article 25 of the Tazewell County Zoning Code have been met.

- **The site shall be so situated as to minimize adverse effects, including visual impacts on adjacent properties.**

(POSITIVE) The expansion of mining activities would see a berm placed at the edge of the mining activities of 8ft tall. This would assist in hiding view of the mining operation from residences to the west and south.

- **The establishment, maintenance or operation of the Special Use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare of the neighboring vicinity.**

(POSITIVE) The proposed special use is requesting to expand a gravel mining operation that has been in operation since 2007. With the installation of a berm to block views and noise to nearby residences, the proposal is not deemed to endanger the public health, safety, morals, comfort, or general welfare of the neighboring vicinity.

- **The Special Use shall not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.**

(POSITIVE) Other properties in the immediate vicinity are utilized either for row-crop production, the existing gravel mining operation or single family dwellings. The expansion of the gravel mining operation will not be injurious to the use and enjoyment of other property in the area, as there already exists a gravel mining operation nearby as well as the installation of an 8ft berm to block views and reduce noise pollution.

- **The Special Use shall not substantially diminish and impair property value within the neighborhood**

(POSITIVE) The area is already established as a location for gravel mining, so the proposed expansion will not cause substantial change in the general area. The installation of a berm will help to mitigate any issues regarding views or noise from the mining operation.

- **Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

(POSTIVE) The project already contains the necessary utilities, roadways, and other facilities.

- **Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion and hazard on the public streets.**

(POSITIVE) The existing operation generates truck traffic along Townline Road; the existing traffic volume is suitable and does not cause congestion or hazard in the area. Although the existing gravel mining operation will be expanded, the volume of traffic will not change significantly because new land will be mined as gravel becomes fully extracted from other land. Therefore, the proposed expansion will minimize congestion and hazard on the public streets.

- **The evidence establishes that granting the use, which is located one-half mile or less from a livestock feeding operation, will not increase the population density around the livestock feeding operation to such levels as would hinder the operation or expansion of such operation.**

Not Applicable

- **Evidence presented establishes that granting the use, which is located more than one half mile from a livestock feeding operation, will not hinder the operation or expansion of such operation.**

(POSITIVE) The proposed Special Use is for the expansion of an existing gravel pit directly to the east of the subject property. The expansion would not hinder the operation of a livestock feeding operation over one-half mile away as it would not have any impacts on properties that are more than one-half miles away.

- **Seventy-five percent (75%) of the site contains soils having a productivity index of less than 125.**

(NEGATIVE) The subject property contains three different types of soils, all of which are 125 rated or higher.

Soil types:

- 199B (Plano): 145
- 243C2 (Stronghurst): 125
- 323C2 (Rozetta): 90

As the property is entirely composed of soils with a productivity index of 125 or more, this finding is judged to be negative although as previously stated, the economic benefit is seen as outweighing the loss of agricultural land in this case.

- **The Special Use is consistent with the existing uses of property within the general area of the property in question.**

(POSITIVE) As the proposal is for an expansion of a gravel mine that already exists immediately to the west of the subject property, it is deemed that the proposal is consistent with existing uses of properties in the general area.

- **The property in question is suitable for the Special Use as proposed.**

(POSITIVE) While the proposal does remove productive agricultural soil from farming, the benefit of allowing a longstanding business expand is seen as outweighing those detractors. This, along with the existence of a gravel mining operation directly adjacent to the subject property, makes the property in question suitable for the proposed special use.

Recommendation:

Based upon the considerations and findings of fact, the Tri-County Regional Planning Commission Planner recommends approval of the requested Special Use to allow the expansion of a gravel mining operation at the subject property (26251 Townline Rd).

Respectfully submitted.

Adam Crutcher
Tri-County Regional Planning Commission Planner

EXHIBIT_____

Melissa A. Kreiter

From: Stacy Thompson <sthompson@tchd.net>
Sent: Friday, October 3, 2025 8:44 AM
To: Melissa A. Kreiter; Jaclynn Workman; Denise Gryp; Robbie Epkins
Cc: Melissa Goetze
Subject: [EXTERNAL] TCHD Comments on October 2025 ZBA Cases

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello,

The following are TCHD EH's comments on the October ZBA cases:

CASE NO. 25-44-S: Steve Lowery, d/b/a Lowery Excavating, Inc. – No comment.

CASE NO. 25-45-S: Steve Lowery, d/b/a Lowery Excavating, Inc. – No comment.

CASE NO. 25-46-V: Douglas Horton of the DJMH Living Trust – During construction of the accessory structure, TCHD recommends the location of the septic system be flagged to prevent driving over, parking on top of, or staging materials or equipment on top of the septic system. This is to prevent damaging the septic system and its components.

CASE NO. 25-47-V: Oak Ridge Outdoor Foundation, LLC – No comment.

CASE NO. 25-48-V: Oak Ridge Outdoor Foundation, LLC – No comment.

Sincerely,

Stacy M. Thompson, MS, LEHP
Environmental Health Supervisor
Tazewell County Health Department
21306 Illinois Route 9, Tremont, IL 61568
Direct Line: 309-929-0226
Main Line: 309-925-5511
<http://www.tazewellhealth.org>

The mission of the Tazewell County Health Department is to promote and protect the public's health and well-being.

If you could please take a minute to help us serve our recent clients, we would greatly appreciate you taking a short survey for TCHD. Please make sure to mention the employee that helped you.

<https://www.surveymonkey.com/r/9F5SVH2>

Tazewell County Soil and Water Conservation District
1440 Valle Vista Blvd.
Pekin, IL 61554-6224
346-4462 ext. 3

September 2, 2025

Tazewell County Department of Community Development
Jaclynn Workman, Community Development Administrator
McKenzie Building
11th South 4th Street
Pekin, IL 61554

RE: October Zoning Cases

Case #25-44-S

Most of the soil is 243C2 St Charles, 5 to 10%, with an index rating of 125 and is not considered prime farmland because of slope. This land is part of a small tract.

Recommend **Approval**.

Case #25-45-S

Most of the soil is 199B Plano silt loam, with an index rating of 145 and is considered prime farmland soils. There is some 243C2 St Charles, 5 to 10%, with an index rating of 125 and is not considered prime farmland because of slope. This parcel is part of a bigger tract of farmland.

Recommend **Denial**.

Case #25-46-V, #25-47-V, & #25-48-V

No Comment

Sincerely,

Robert Clark
Resource Conservationist
Tazewell County Soil and Water Conservation District

EXHIBIT_____

CASE INFORMATION

CASE NO.: 25-45-S PETITIONER: Lowery Excavating, Inc.

AGENT OR REPRESENTATIVE: Steve Lowery

ADDRESS: 404 Harbor Pointe Dr., East Peoria, IL 61611 PHONE: 309-256-7128

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P.I.N.# 18-18-03-300-009 PARCEL SIZE 25+/- PRESENT ZONING: A-1

SURROUNDING ZONING: N CONS S A-1 E CONS W A-1

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TCFB: Notified 9/18/25

COUNTY HIGHWAY: Notified 9/18/25

COUNTY EMA: Notified 9/18/25

MUNICIPALITY: N/A

TOWNSHIP: N/A

IDOT: N/A

SURROUNDING PROPERTY OWNERS: Notified 9/18/25

PUBLICATION DATE: 9/17/25 WHERE: Tazewell Chronicle

ACTION TAKEN:

ZONING BOARD OF APPEALS: _____ DECISION: _____

LAND USE COMMITTEE: _____ DECISION: _____

COUNTY BOARD: _____ DECISION: _____

OTHER COMMENTS: _____

TAZEWELL COUNTY COMMUNITY
DEVELOPMENT

APPLICATION FOR ZONING HEARING

PETITION FOR:

☐ Special Use (New Dwelling Site)

☒ Special Use (Other)

Staff Use Only:

Accepted by: NK

Date Filed: 9/5/25

CASE NO. 25-45-S

Filing Fee: 550.00

Publication Fee: _____

ZBA Hearing Date: 10/7/2025

Decision Date: _____

☐ APPROVED ☐ DENIED ☐ OTHER _____

1. Applicant and Owner Information:

Applicant:

Owner:

Name: Steve Lowery

Name: Same

Address: 404 Harbor Pointe Dr.

Address: _____

City, State: East Peoria IL 61611

City, State: _____

Phone: 309 256 7128
(daytime contact)

Phone: _____
(daytime contact)

Email: LOWX@frontier.com

Email: _____

The property interest of the applicant, if not the owner: _____

2. Site and Surrounding Property Information:

a. 911 Address or property location of subject property: 26251 Teamline Rd Tremont 61568

b. Correct Legal Description and Property Identification Number: (Attach an additional sheet if necessary - a copy of the legal description may be obtained from the Recorder of Deeds Office - 1st floor, McKenzie Building)

Current Zoning: Agriculture Property ID Number: 18-R-03-300-009

Proposed Parcel Size/Acreage: 25a Soil Productivity Rate of Site: 199B Pland 145
243C2 St. Charles 125

Legal Description:

25a) Part of the West 1/2 of the East 1/2 of NW 1/4 of Sec 3 T23N R3W 3rd PM

c. Describe all existing structures, physical attributes and current land use of the property:

No structures, agricultural fields

d. Previous Special Use/Variance requests for this property? ☒ No ☐ Yes—Case No. _____

3. State the Reason For and Nature of the Special Use:

Gravel reserves for the ~~exs~~ existing gravel pit operated by Lowery Excavating are nearly exhausted. More gravel property is need to continue production of aggregate materials for the area

a. Hours of operation: 6:30-6:30 M-F Number of employees: 6

b. Number of parking spaces: 10 Handicapped: Yes Parking Lot Surface: gravel

c. Signs (size and number of): None

d. Number of new buildings to be constructed and proposed use of each building:

None

e. Future expansion and time schedule: None at this time

4. **New Dwelling Sites Only:** A livestock feeding operation is defined by the Tazewell County Zoning Code as: Any new or existing operation which stables or confines and feeds or maintains for a total of 45 days or more in any 12-month period a combination of at least fifty (50) animal units, or its equivalency. *(Contact the Tazewell County Farm Bureau Office at (309) 347-3165 for assistance if you are uncertain regarding location of active livestock feeding operations.)

- a. Is the property located: (Check appropriate item)
1. Less than one-half ($\frac{1}{2}$) mile of a livestock feeding operation: ☐ Yes ☐ No
- *If less than $\frac{1}{2}$ mile is a Variance necessary? ☐ Yes ☐ No
2. More than one-half ($\frac{1}{2}$) mile of a livestock feeding operation: ☐ Yes ☐ No
- b. Type of livestock operation _____ Number of animal units: _____

5. The Zoning Board of Appeals makes a Finding of Fact for all Special Use. Please provide how your application conforms to the following: (attached an additional sheet if necessary)

- a. The site will be so situated as to minimize adverse effects, including visual impacts on adjacent properties.

Berms will be constructed and maintained to minimize noise and visual impact. Frequent watering for dust control will continue

- b. The establishment, maintenance or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare of the neighboring vicinity.

Current operations are kept clean and well maintained. There are no hazards to the public

- c. The Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.

All equipment is contained down in the pit. Berms and dust control minimize any effects of machinery, noise and dust.

- d. The Special Use will not substantially diminish and impair property value within the neighborhood.

This property is surrounded by old gravel pits and corn fields. The existing pit has been in operation for 17 years. No effect on values

- e. Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.

Adequate utilities are provided at an existing office/shop. Proper truck entrance to Townline Rd. All drainage contained within pit

- f. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion and hazard on the public streets.

Existing truck entrance on Townline Rd will be the only access to the site

- g. Granting the special use, which is located one-half mile or less from a livestock feeding operation, will not increase the population density around the livestock feeding operation to such levels that would hinder the operation or expansion of such operation or granting the special use, which is located more than one half mile from a livestock feeding operation will not hinder the operation or expansion of such operation.

No livestock within $\frac{1}{2}$ mile

- h. The Special Use is consistent with the existing uses of property within the general area of the property in question.

Gravel milling operations have been ongoing in this area for over 70 years.

- i. The property is suitable for the Special Use as proposed.

This area has been used for gravel mining for many years with minimal effects to surrounding property owners and roads.

6. **Signature:** I (we) certify that the proposed Special Use will conform to the standards for Special Uses in the Tazewell County Zoning Ordinance and hereby acknowledges that all the information contained in this application and accompanying documents are true and correct to the best of my (our) knowledge.

 M E Zany
Applicant Signature

 9/4/25
Date

 M E Zany
Owner Signature

 9/4/25
Date

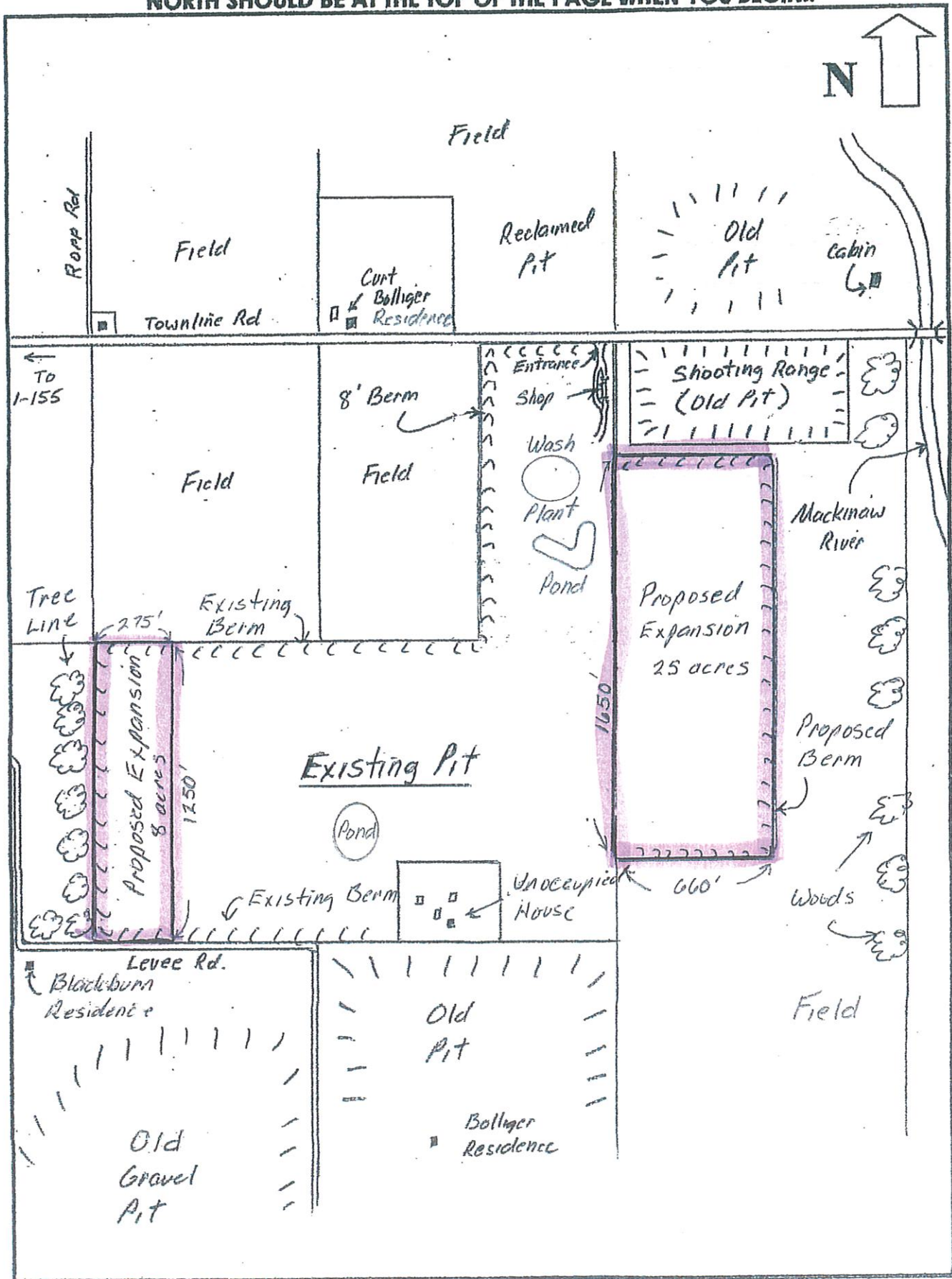
Reclamation plan for Tremont Pit

As mining operations are completed property shall be reclaimed to provide as much tillable ground as possible as follows:

1. Top soil shall be excavated and used to construct screening berms around the perimeter of the site or saved in stockpiles for later use.
2. Clay overburden shall be removed or stockpiled at suitable areas. Enough clay dirt will be retained for adequate reclamation.
3. As operations progress clay overburden will be excavated and used to build up pit sidewalls which will be sloped at 3:1, seeded with grass and mowed.
4. Pit floor shall be cut, filled and graded as necessary to provide adequate drainage prior to placement of clay soil.
5. A minimum of two feet of clean clay soil shall be placed on pit floor and covered with a minimum of one foot of top soil to support row crops.
6. All stockpiles of sand, gravel and soil shall be used in the reclamation process or removed.

NOTE: FOR PROPER UNDERSTANDING OF YOUR APPLICATION, SHOW PLACEMENT OF BUILDINGS, BUILDING SIZE, DISTANCE FROM OVERHANG OF BUILDINGS TO FRONT, REAR AND SIDE LOT LINES, LOCATION OF PARKING SPACES, LANDSCAPING, AND OTHER PERTINENT DETAILS.

NORTH SHOULD BE AT THE TOP OF THE PAGE WHEN YOU BEGIN!!

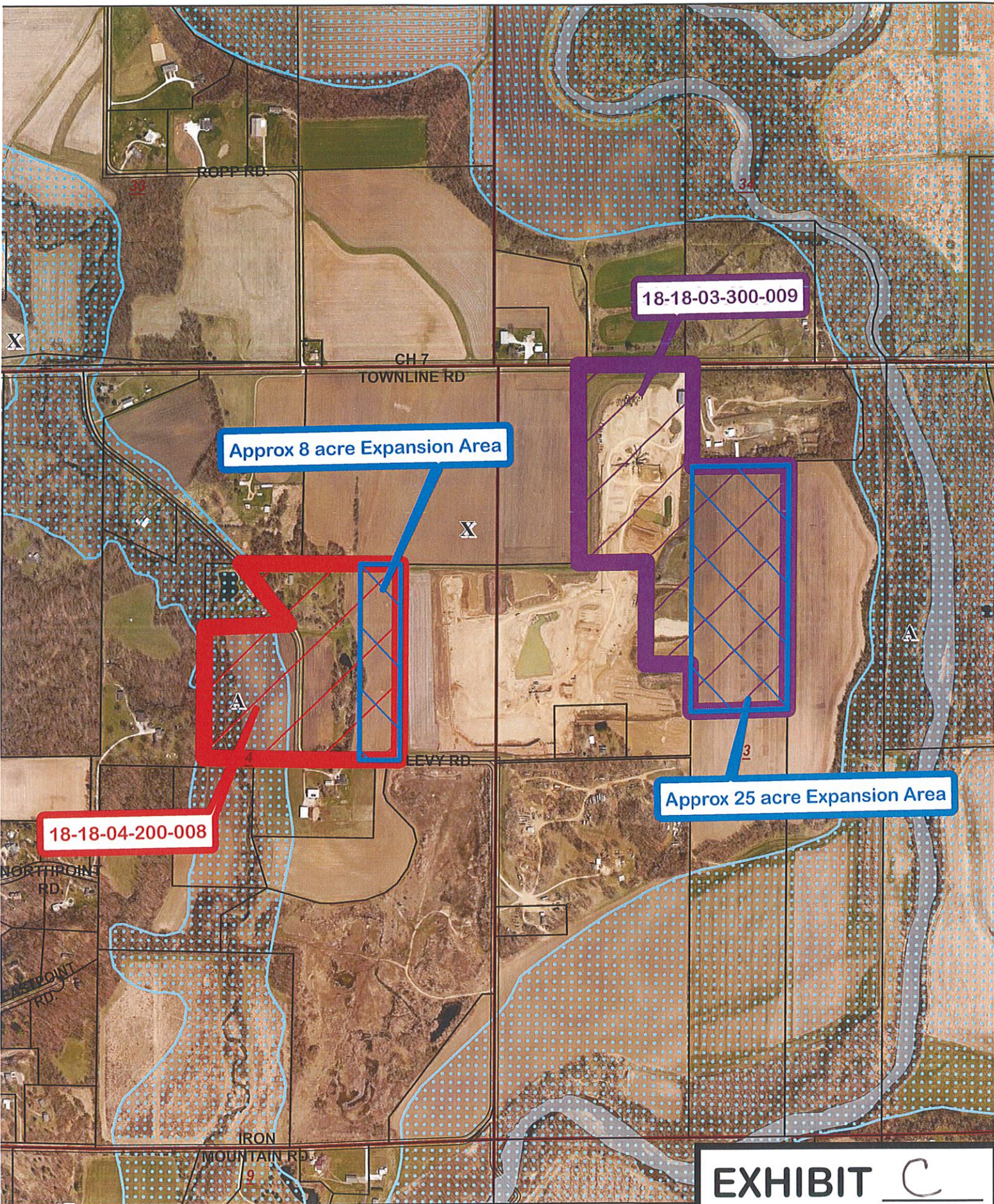


SITE PLAN

EXHIBIT

A





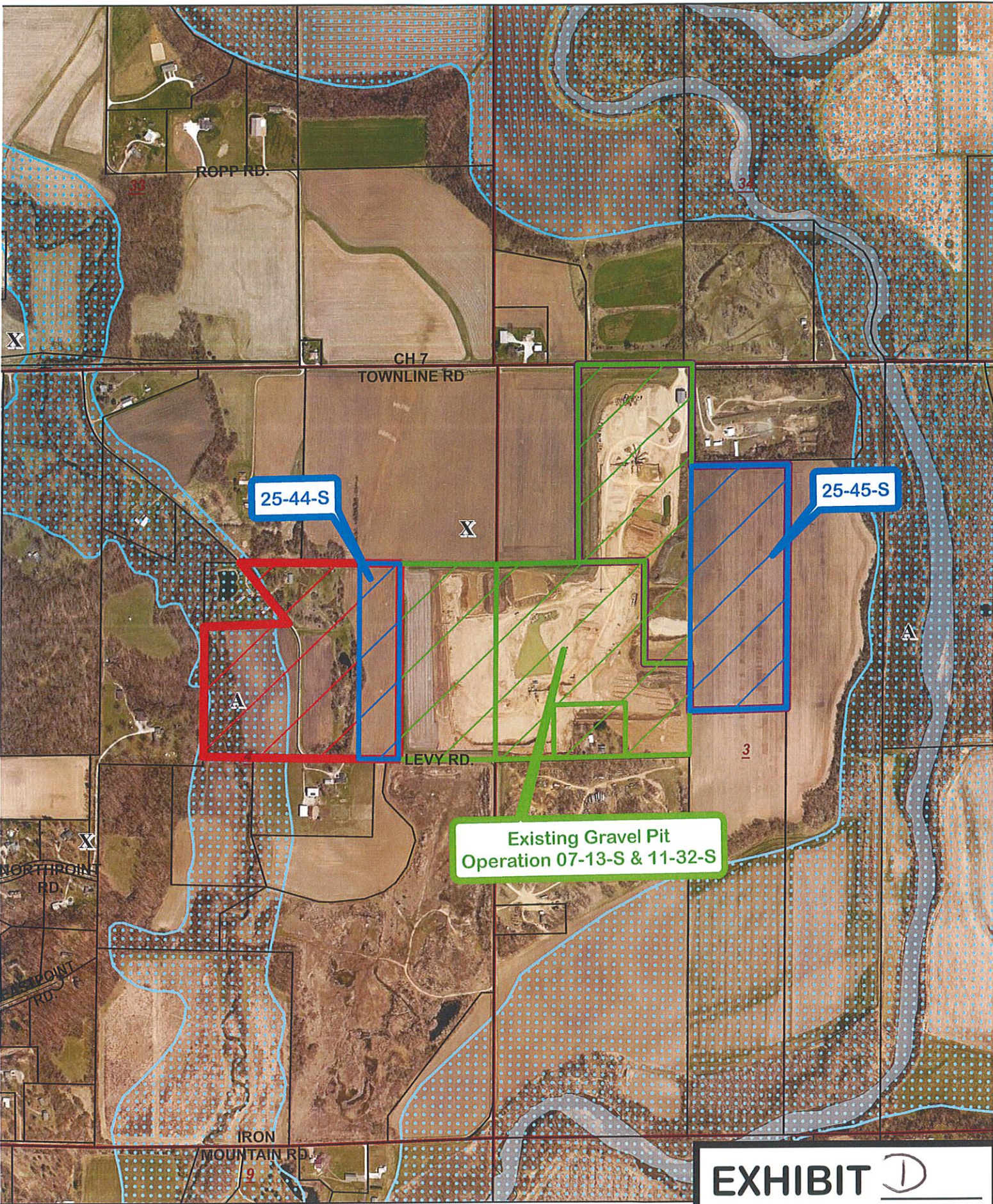


EXHIBIT D

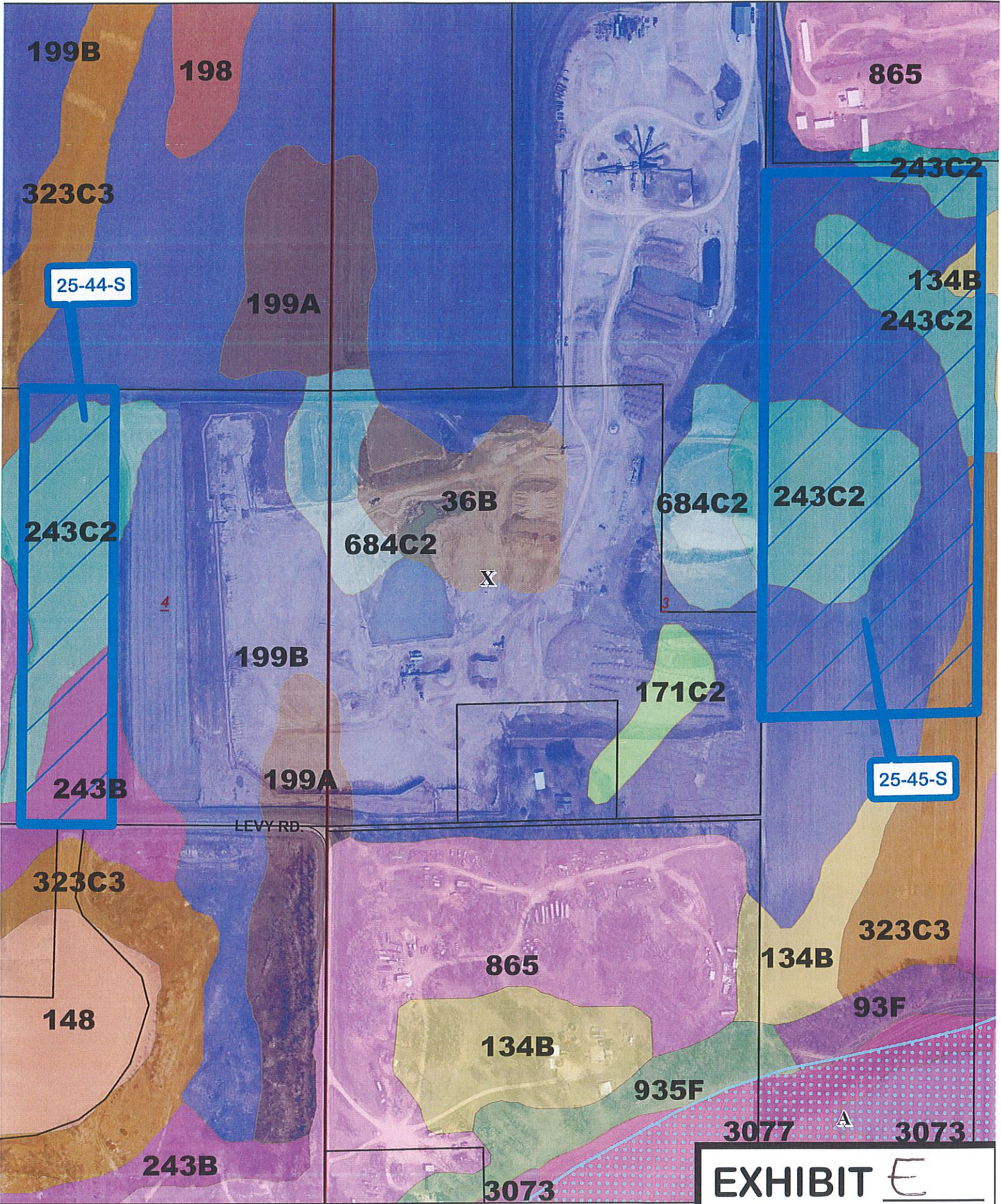


EXHIBIT E



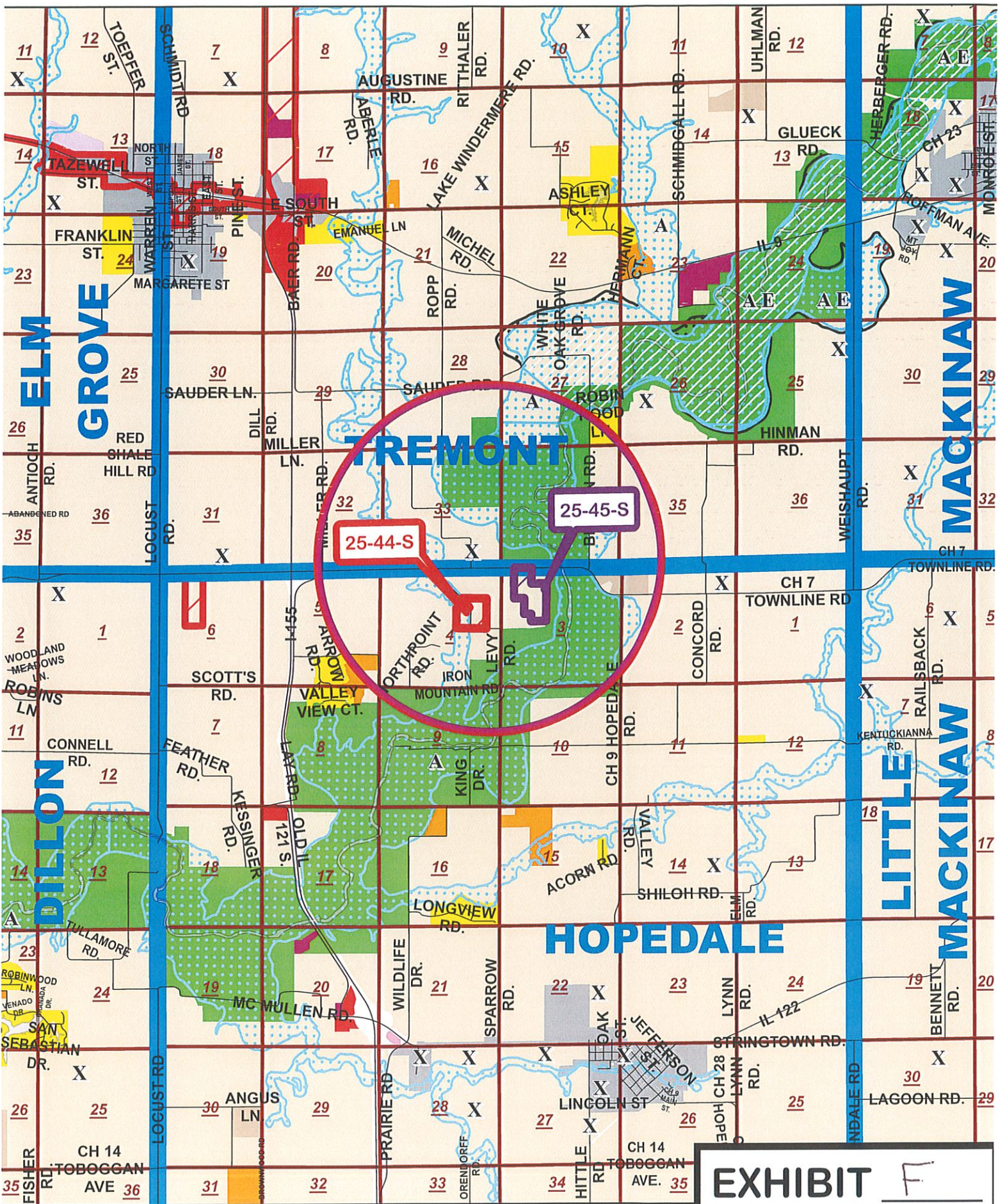


EXHIBIT F



Zoning		A-1	C-2	I-1	R-2
District		A-2	CITY	I-2	R-R
		C-1	CONS	R-1	
AG Area					

TAZEWELL COUNTY
COMMUNITY DEVELOPMENT AND PLANNING
ZONING BOARD OF APPEALS REPORT (25-45-S)

Applicant: Steve Lowery

Requested Action: Special Use to allow the expansion of an existing sand and gravel pit in an A-1 Agriculture Preservation Zoning District.

Date of Application: September 5, 2025

Location: 26251 Townline Rd

Zoning:	Subject Property:	A-1 Agricultural Preservation District
	North:	A-1 Agricultural Preservation District
	East:	A-1 Agricultural Preservation District
	South:	Conservation District
	West:	Conservation District

Public Hearing: October 7, 2025

Considerations:

- Per the Tazewell County Zoning Code, the A-1 Zoning District is established to benefit and protect agricultural uses throughout the County.
- Per the Tazewell County Zoning Code, a gravel pit may be established in the A-1 Agricultural Preservation District with a Special Use.
- The area identified for special use is approximately 25 acres in size and is used for agricultural production currently.

Findings of Fact:

- The Special Use shall, in all other respects, conform to the applicable regulations of the Tazewell County Zoning Ordinance for the district in which it is located.
(POSITIVE) The Special Use will conform to all applicable regulations of the Tazewell County Zoning Code as enforced by the Community Development Administrator.
- The Special Use will be consistent with the purposes, goals, objectives, and standards of the officially adopted County Comprehensive Land Use Plan and these regulations or of any officially adopted Comprehensive Plan of a municipality within a 1.5-mile planning jurisdiction.

(POSITIVE) The subject property is not within 1.5 miles of a planning jurisdiction with an

officially adopted Comprehensive Plan.

The Tazewell County Comprehensive Plan states that, “one method of accommodating new development while protecting agricultural uses is preserving prime farmland for agricultural uses.” The future land use designation of the subject property is A-2. This designation’s purpose is to “protect and maintain agricultural uses, agricultural economy, the open space and natural features of rural areas, and preserve agricultural land of the county in order to: (1) Protect lands for continued farming; (2) Allow non-farm residential development on a limited basis; and (3) Minimize conflicts between agricultural and non-agricultural areas.” The subject property primarily consists of soils which are productive (productivity index of 125 or greater). Due to the subject property containing these productive soils and the current utilization of the property for agricultural purposes, the proposed special use request is not consistent with the following goals, objectives, and policies of the Tazewell County Comprehensive Plan:

- Appropriate areas for agricultural land are protected to allow for agricultural activities to continue.
- Agricultural activities are protected to allow for their establishment and continued operation.

The Tazewell County Comprehensive Plan also speaks about economic development for both new and existing businesses and industries. One of the primary goals on this topic states, “New and existing businesses and industries are willing and able to establish and maintain operations.” The Comprehensive Plan also estimated that the natural resources and mining occupation only had 18 employees within the county in 2014 and was expected to lose employment over the next decade. The existing gravel mine has received multiple approvals previously (2007 & 2011) and is one of the few instances remaining in Tazewell County of mining operations. With the existing operation being present for close to 20 years with no complaints from surrounding properties, the operation has shown its ability to minimize conflict between land uses.

After reviewing all applicable sections of the 2011 Tazewell County Comprehensive Plan, it is deemed that the proposed special use is consistent with the purposes, goals, and objectives as even though the request takes productive agricultural land out of production, the economic gain is seen as outweighing that loss.

- **The petitioner has provided the information required by 7TCC1-25(c), and has demonstrated the ability to complete the proposal shown in 7TCC1-25(c)(1)-(10), and has met those items required by the statements described in TCC1-25(c)(9).**

(POSITIVE) Per the application, the requirements of Article 25 of the Tazewell County Zoning Code have been met.

- **The site shall be so situated as to minimize adverse effects, including visual impacts on adjacent properties.**

(POSITIVE) The expansion of mining activities would see a berm placed at the edge of the mining activities of 8ft tall. This would assist in hiding view of the mining operation from those traveling on Townline Rd to the north. Otherwise, the areas to the south, east, and west of the proposed

special use area do not feature residential development or nearby roads where this site would be viewed from.

- **The establishment, maintenance or operation of the Special Use shall not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare of the neighboring vicinity.**

(POSITIVE) The proposed special use is requesting to expand a gravel mining operation that has been in operation since 2007. With the installation of a berm to block views along with the subject proximities distance from any residential areas, the proposal is not deemed to endanger the public health, safety, morals, comfort, or general welfare of the neighboring vicinity.

- **The Special Use shall not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted.**

(POSITIVE) Other properties in the immediate vicinity are utilized either for row-crop production, shooting range or the existing gravel mining operation. The expansion of the gravel mining operation will not be injurious to the use and enjoyment of other property in the area, as there already exists a gravel mining operation nearby as well as the installation of an 8ft berm to reduce noise volumes from escaping.

- **The Special Use shall not substantially diminish and impair property value within the neighborhood**

(POSITIVE) The area is already established as a location for gravel mining, so the proposed expansion will not cause substantial change in the general area. The installation of a berm will help to mitigate any issues regarding views or noise from the mining operation.

- **Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

(POSTIVE) The project already contains the necessary utilities, roadways, and other facilities.

- **Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion and hazard on the public streets.**

(POSITIVE) The existing operation generates truck traffic along Townline Road; the existing traffic volume is suitable and does not cause congestion or hazard in the area. Although the existing gravel mining operation will be expanded, the volume of traffic will not change significantly because new land will be mined as gravel becomes fully extracted from other land. Therefore, the proposed expansion will minimize congestion and hazard on the public streets.

- **The evidence establishes that granting the use, which is located one-half mile or less from a livestock feeding operation, will not increase the population density around the livestock feeding operation to such levels as would hinder the operation or expansion of such operation.**

Not Applicable

- **Evidence presented establishes that granting the use, which is located more than one half mile from a livestock feeding operation, will not hinder the operation or expansion of such operation.**

(POSITIVE) The proposed Special Use is for the expansion of an existing gravel pit directly to the east of the subject property. The expansion would not hinder the operation of a livestock feeding operation over one-half mile away as it would not have any impacts on properties that are more than one-half miles away.

- **Seventy-five percent (75%) of the site contains soils having a productivity index of less than 125.**

(NEGATIVE) The subject property contains five different types of soils, all of which are 125 rated or higher.

Soil types:

- 134B (Camden): 120
- 199B (Plano): 145
- 243C2 (Stronghurst): 125
- 323C2 (Rozetta): 90

As the property is entirely composed of soils with a productivity index of 125 or more, this finding is judged to be negative although as previously stated, the economic benefit is seen as outweighing the loss of agricultural land in this case.

- **The Special Use is consistent with the existing uses of property within the general area of the property in question.**

(POSITIVE) As the proposal is for an expansion of a gravel mine that already exists immediately to the west of the subject property, it is deemed that the proposal is consistent with existing uses of properties in the general area.

- **The property in question is suitable for the Special Use as proposed.**

(POSITIVE) While the proposal does remove productive agricultural soil from farming, the benefit of allowing a longstanding business expand is seen as outweighing those detractors. This, along with the existence of a gravel mining operation directly adjacent to the subject property, makes the property in question suitable for the proposed special use.

Recommendation:

Based upon the considerations and findings of fact, the Tri-County Regional Planning Commission Planner recommends approval of the requested Special Use to allow the expansion of a gravel mining operation at the subject property (26251 Townline Rd).

Respectfully submitted.

Adam Crutcher
Tri-County Regional Planning Commission Planner

EXHIBIT G⁴

Melissa A. Kreiter

From: Stacy Thompson <sthompson@tchd.net>
Sent: Friday, October 3, 2025 8:44 AM
To: Melissa A. Kreiter; Jaclynn Workman; Denise Gryp; Robbie Epkins
Cc: Melissa Goetze
Subject: [EXTERNAL] TCHD Comments on October 2025 ZBA Cases

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello,

The following are TCHD EH's comments on the October ZBA cases:

CASE NO. 25-44-S: Steve Lowery, d/b/a Lowery Excavating, Inc. – No comment.

CASE NO. 25-45-S: Steve Lowery, d/b/a Lowery Excavating, Inc. – No comment.

CASE NO. 25-46-V: Douglas Horton of the DJMH Living Trust – During construction of the accessory structure, TCHD recommends the location of the septic system be flagged to prevent driving over, parking on top of, or staging materials or equipment on top of the septic system. This is to prevent damaging the septic system and its components.

CASE NO. 25-47-V: Oak Ridge Outdoor Foundation, LLC – No comment.

CASE NO. 25-48-V: Oak Ridge Outdoor Foundation, LLC – No comment.

Sincerely,

Stacy M. Thompson, MS, LEHP
Environmental Health Supervisor
Tazewell County Health Department
21306 Illinois Route 9, Tremont, IL 61568
Direct Line: 309-929-0226
Main Line: 309-925-5511
<http://www.tazewellhealth.org>

The mission of the Tazewell County Health Department is to promote and protect the public's health and well-being.

If you could please take a minute to help us serve our recent clients, we would greatly appreciate you taking a short survey for TCHD. Please make sure to mention the employee that helped you.
<https://www.surveymonkey.com/r/9F5SVH2>

Tazewell County Soil and Water Conservation District
1440 Valle Vista Blvd.
Pekin, IL 61554-6224
346-4462 ext. 3

September 2, 2025

Tazewell County Department of Community Development
Jaclynn Workman, Community Development Administrator
McKenzie Building
11th South 4th Street
Pekin, IL 61554

RE: October Zoning Cases

Case #25-44-S

Most of the soil is 243C2 St Charles, 5 to 10%, with an index rating of 125 and is not considered prime farmland because of slope. This land is part of a small tract.

Recommend **Approval**.

Case #25-45-S

Most of the soil is 199B Plano silt loam, with an index rating of 145 and is considered prime farmland soils. There is some 243C2 St Charles, 5 to 10%, with an index rating of 125 and is not considered prime farmland because of slope. This parcel is part of a bigger tract of farmland.

Recommend **Denial**.

Case #25-46-V, #25-47-V, & #25-48-V

No Comment

Sincerely,

Robert Clark
Resource Conservationist
Tazewell County Soil and Water Conservation District

EXHIBIT I

CASE INFORMATION

CASE NO.: 25-46-V PETITIONER: DJMH Living Trust

AGENT OR REPRESENTATIVE: Douglas Horton

ADDRESS: 26125 E. Lake Windermere Rd., Tremont, IL PHONE: 309-494-2017

REQUEST FOR: Variance to waive the requirements of §157.091(c)(2) to allow the construction of an Accessory Structure (Shed) to be 18' from the Rear Property Line, which is 7' closed than allowed in an A-1 Agriculture Preservation District

P.I.N.# 12-12-22-100-010 PARCEL SIZE 2.23 +/- PRESENT ZONING: A-1

SURROUNDING ZONING: N A-1 S A-1 E A-1 W A-1

PETITION RECEIVED: 9/5/25 CASE ORIGIN: By Petitioner

AGENCIES NOTIFIED AND COMMENTS MADE:

PLANNER: Does not comment on Variance cases

HEALTH DEPT.: Notified 9/18/25

TCSWCD: Notified 9/18/25

TCFB: Notified 9/18/25

COUNTY HIGHWAY: Notified 9/18/25

COUNTY EMA: N/A

MUNICIPALITY: N/A

TOWNSHIP: Notified 9/22/25

IDOT: N/A

SURROUNDING PROPERTY OWNERS: Notified 9/18/25

PUBLICATION DATE: 9/17/25 WHERE: Tazewell Chronicle

ACTION TAKEN:

ZONING BOARD OF APPEALS: _____ DECISION: _____

LAND USE COMMITTEE: _____ DECISION: _____

COUNTY BOARD: _____ DECISION: _____

OTHER COMMENTS: _____

TAZEWELL COUNTY COMMUNITY
DEVELOPMENT
APPLICATION FOR ZONING HEARING
PETITION FOR: VARIANCE

Staff Use Only: Accepted by: MK
Date Filed: 9/5/2025 CASE NO. 25-46-V
Filing Fee: 300.00 Publication Fee: _____
ZBA Hearing Date: 10/7/2025
Decision Date: _____
APPROVED ☐ DENIED ☐ OTHER _____

1. Applicant and Owner Information:

Applicant:

Name: DJMH Living Trust (Douglas Horton Trustee)
Address: 26125 E. Lake Windermere Rd
City, State: Tremont, IL
Phone: 309-494-2017
(daytime contact)
Email: dh.spam@hotmail.com

Owner:

Name: Same
Address: _____
City, State: _____
Phone: _____
(daytime contact)
Email: _____

The property interest of the applicant, if not the owner: NA

2. Site and Surrounding Property Information:

- a. 911 Address or property location of subject property: 26125 E. Lake Windermere Rd
- b. Correct Legal Description and Property Identification Number: (Attach an additional sheet if necessary - a copy of the legal description may be obtained from the Recorder of Deeds Office – 1st floor, McKenzie Building)

Current Zoning: A1 Property ID Number: 12-12-22-100-010
Proposed Parcel Size/Acreage: NA Soil Productivity Rate of site: NA
Legal Description:

- c. Describe all existing structures, physical attributes and current land use of the property:
Common rural residential home site

- d. Previous Special Use/Variance requested for this property? ☐ No ☒ Yes—Case No. 18-52-V

3. Specify what the Variance request is for:

Allow the placement of a 12' x 16' storage shed that is 18' from the rear property line, 7' closer than the
the minimum 25' distance indicated for an A1 parcel type.

4. Explain in detail the hardship or circumstances which prevents you from meeting the requirements of the Zoning Code:

The best suited location on the lot is to the East of the attached garage and relatively close to it.
Other impediments in this area of the lot are elevation change sloping to the North & NE, 3 trees
including a massive Cottonwood tree, and the septic drainage field (both to the North).

5. When evaluating Variance requests the following Standards are considered by The Zoning Board of Appeals. Please provide how your application conforms to the following: (attached an additional sheet if necessary)

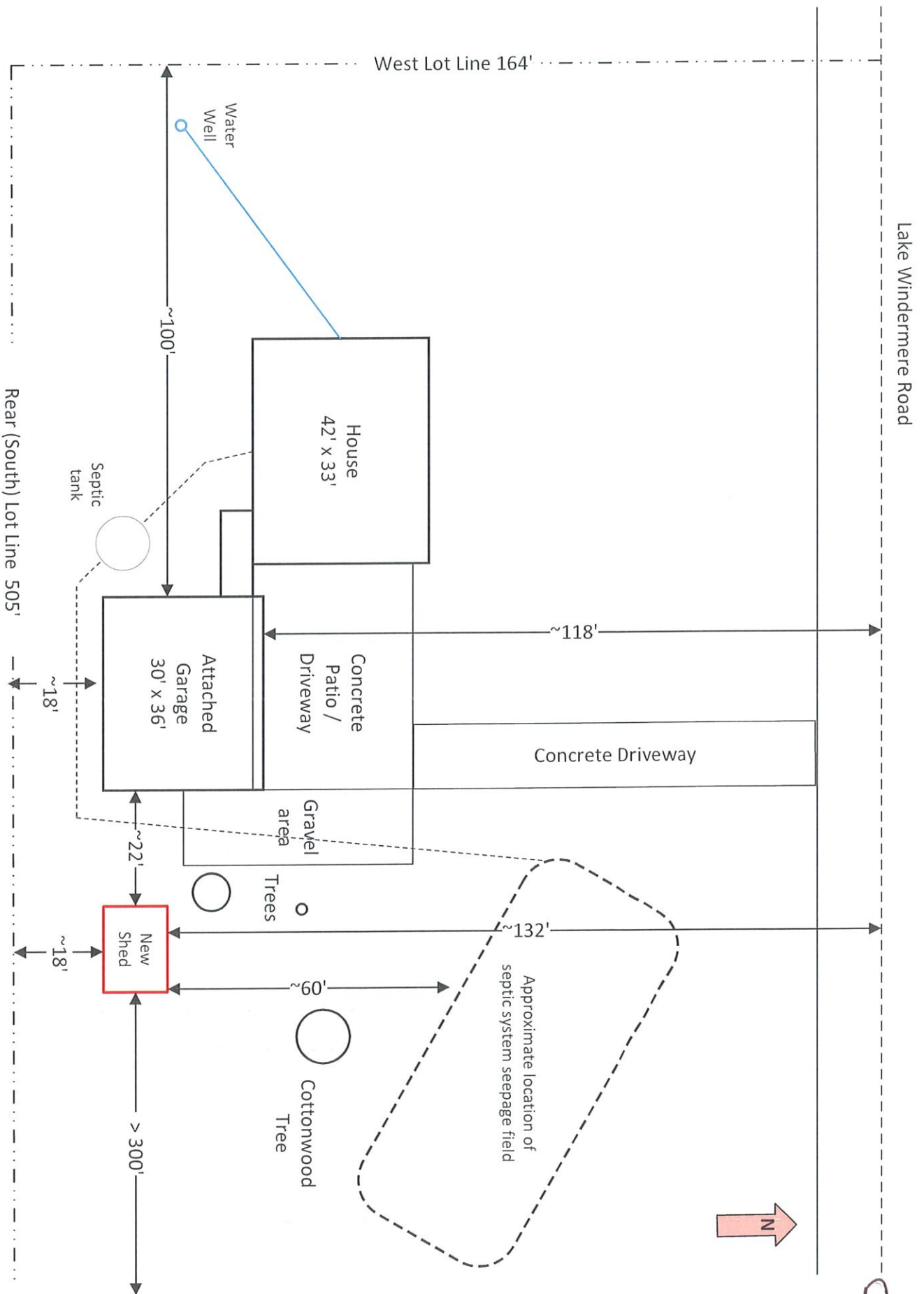
- a. Explain how the particular surroundings, shape or topographical conditions of the property creates a particular hardship rather than inconvenience, if the Zoning Code regulations were to be carried out.
Allowing the shed to be placed at the specified location keeps it on the flat higher ground,
and out from under the Cottonwood tree canopy to the North.
- b. Explain how the conditions upon which the variance is based are unique to the property for which the variance is sought and are not applicable, generally, to other property.
Based on the Lot shape, position of existing structures & trees, and terrain slope into the gulley to the East. The garage was granted this similar variance on case 18-52-V.
- c. Explain how granting the variance will not be detrimental to the public welfare, nor injurious to other property or improvements in the neighborhood or otherwise be inconsistent with any officially adopted County Plan or these regulations.
This is a relatively small structure that will have little visibility to the public. The south walls of the garage and shed will align nicely for good structure and lawn grass visual symmetry.
- d. Explain how the proposed variance will not impair an adequate supply of light and air to adjacent property, nor substantially increase the congestion in public streets or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.
The shed is not tall enough to impair sunlight and is for storage only.
- e. Explain how the purpose of the variance is not based exclusively upon a desire to increase the monetary gain of the property.
The shed does not increase the value of the property in a significant way.
- f. Explain how circumstances or conditions are such that the strict application of the provisions of this section would deprive the applicant of reasonable use of his or her property. Mere loss in value shall not justify a Variance.
If this location can not be used, another location further East from the attached garage would need to be used making it much more difficult to move items in/out by the distance and across the grass.
- g. Explain how granting the Variance is the minimum adjustment necessary that will make possible the reasonable use of the land or structure.
Since a variance was granted for the much larger attached garage, this smaller structure would be consistent with that and no closer to the rear property line.
- h. Explain how the request is due to unique circumstances.
Based on the Lot shape, position of existing structures, trees, and septic field along with terrain that slopes with ~2.5' of elevation change in the corridor projected east of the garage.

6. **Signature:** I (we) certify that the proposed Variance will conform to the standards for Variances in the Tazewell County Zoning Ordinance and hereby acknowledges that all the information contained in this application and accompanying documents are true and correct to the best of my (our) knowledge.

Douglas W Horton
Applicant Signature
5-Sep-2025
Date

Douglas W Horton
Owner Signature
5-Sep-2025
Date

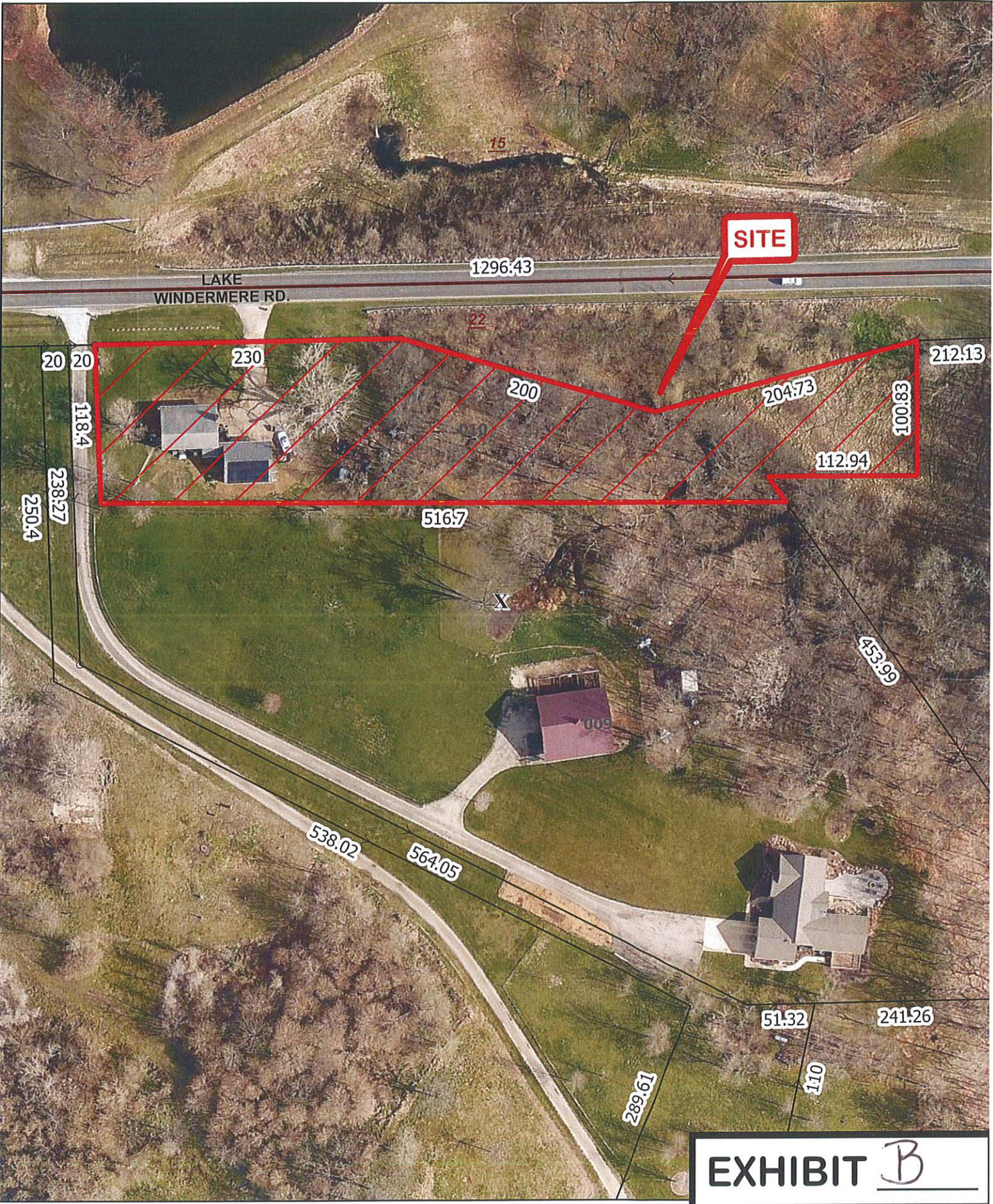
Horton Shed Site Plan 5-Sep-2025



Top of Ridge before the hillside drops steeply into the gulley

EXHIBIT

A



SITE

LAKE
WINDERMERE RD.

EXHIBIT B



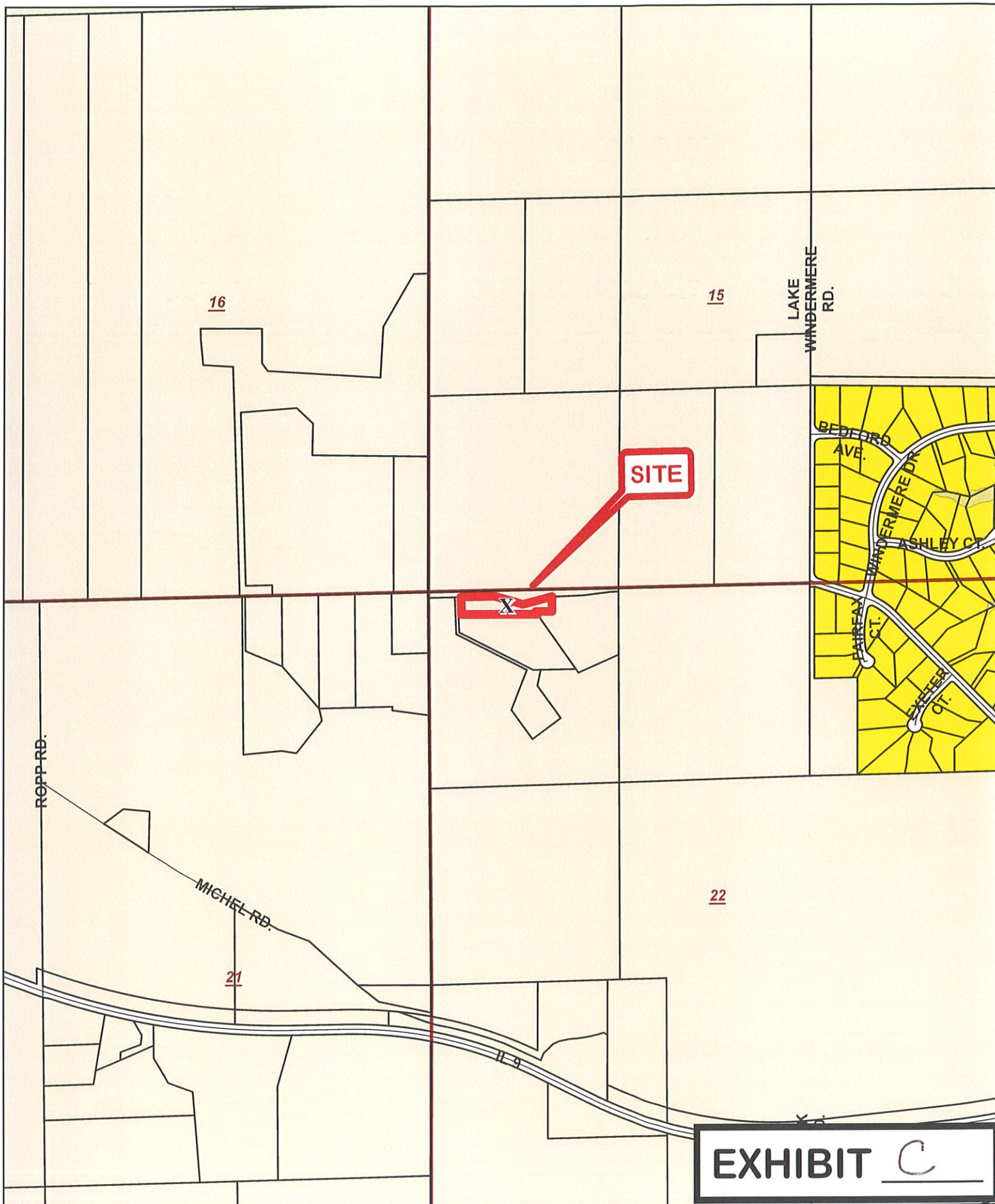


EXHIBIT C

Zoning

District

AG Area

A-1

A-2

C-1

C-2

CITY

CONS

I-1

I-2

R-1

R-2

R-R



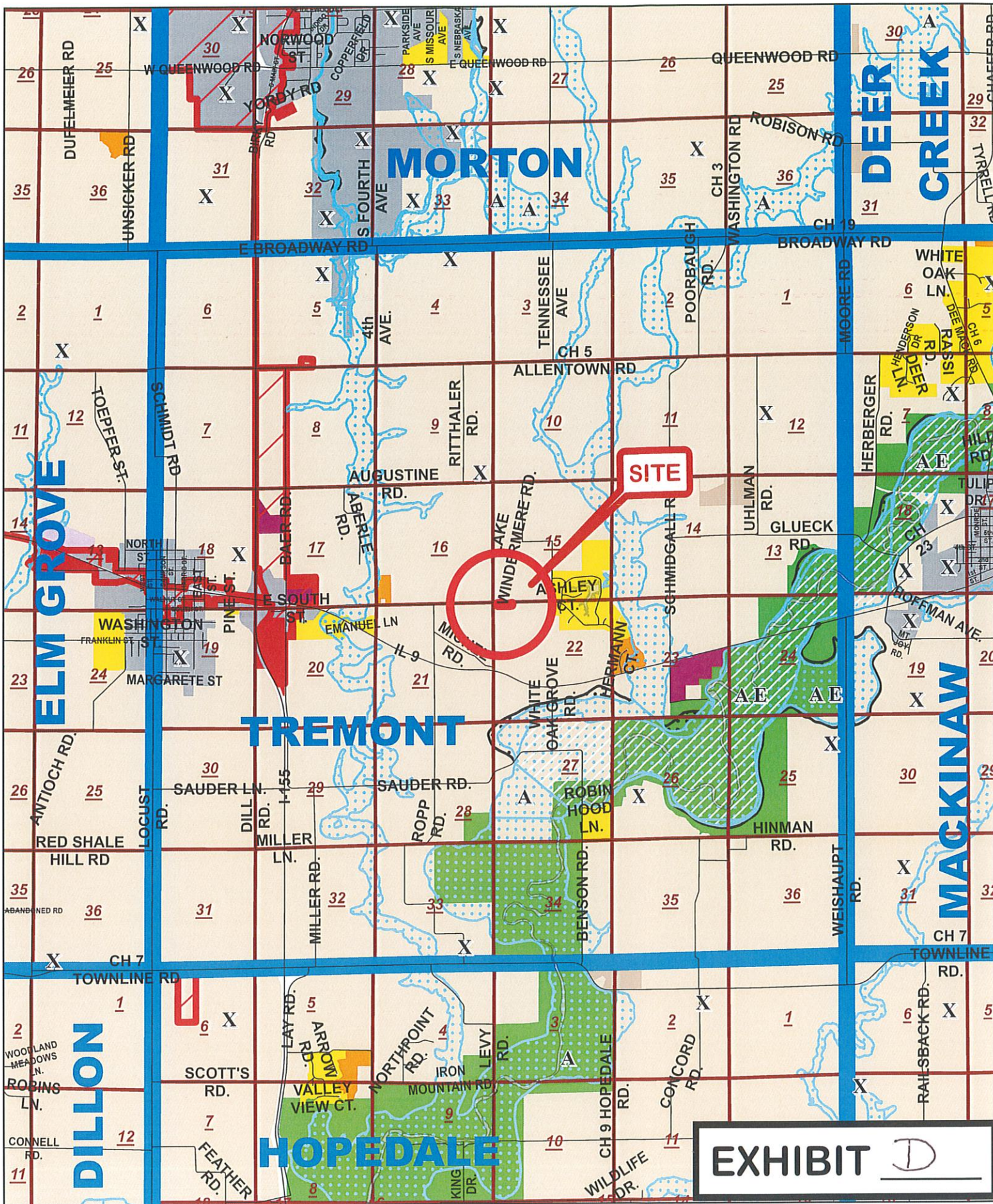


EXHIBIT D



Zoning		A-1	C-2	I-1	R-2
District		A-2	CITY	I-2	R-R
		C-1	CONS	R-1	
AG Area					

Melissa A. Kreiter

From: Stacy Thompson <sthompson@tchd.net>
Sent: Friday, October 3, 2025 8:44 AM
To: Melissa A. Kreiter; Jaclynn Workman; Denise Gryp; Robbie Epkins
Cc: Melissa Goetze
Subject: [EXTERNAL] TCHD Comments on October 2025 ZBA Cases

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Sincerely,

Stacy M. Thompson, MS, LEHP
Environmental Health Supervisor
Tazewell County Health Department
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Direct Line: 309-929-0226
Main Line: 309-925-5511
<http://www.tazewellhealth.org>

The mission of the Tazewell County Health Department is to promote and protect the public's health and well-being.

If you could please take a minute to help us serve our recent clients, we would greatly appreciate you taking a short survey for TCHD. Please make sure to mention the employee that helped you.
<https://www.surveymonkey.com/r/9F5SVH2>

Tazewell County Soil and Water Conservation District
1440 Valle Vista Blvd.
Pekin, IL 61554-6224
346-4462 ext. 3

September 2, 2025

Tazewell County Department of Community Development
Jaclynn Workman, Community Development Administrator
McKenzie Building
11th South 4th Street
Pekin, IL 61554

RE: October Zoning Cases

Case #25-44-S

Most of the soil is 243C2 St Charles, 5 to 10%, with an index rating of 125 and is not considered prime farmland because of slope. This land is part of a small tract.

Recommend **Approval**.

Case #25-45-S

Most of the soil is 199B Plano silt loam, with an index rating of 145 and is considered prime farmland soils. There is some 243C2 St Charles, 5 to 10%, with an index rating of 125 and is not considered prime farmland because of slope. This parcel is part of a bigger tract of farmland.

Recommend **Denial**.

Case #25-46-V, #25-47-V, & #25-48-V

No Comment

Sincerely,

Robert Clark
Resource Conservationist
Tazewell County Soil and Water Conservation District

EXHIBIT F